

**TOWN OF CLIFTON  
ARCHITECTURAL REVIEW BOARD  
REGULAR MEETING  
THURSDAY, APRIL 29, 2021, 7:30 PM  
ELECTRONIC MEETING, VIA ZOOM**

Until further notice from the Mayor of Clifton, and in accordance with the Resolution of the Architectural Review Board Commission regarding Remote Participation by Electronic Means Policy and the Town Council Continuity of Government Methods, to the Architectural Review Board and Authorizing Remote Participation by Electronic Means Without a Physical Quorum Being Present Pursuant to Virginia Law, the Town of Clifton Architectural Review Board is holding all Meetings noticed herein electronically for the purpose of continuity of government of the Town of Clifton.

The meetings will be conducted using Zoom teleconferencing audio and video service, and connection information will be provided to members of the public to afford the opportunity to citizens to witness the operation of the Town of Clifton government. Connection information is available from, and will be provided by, the Town Clerk or Chair of the Architectural Review Board upon receiving an emailed request directed to [clerk@cliftonva.gov](mailto:clerk@cliftonva.gov) or [royce.jarr@yahoo.com](mailto:royce.jarr@yahoo.com).

**Present:** Royce Jarrendt, Chair; Council Representative Member Regan McDonald; Phyllis Lovett; Jeff Stein; Geri Yantis; Phoebe Peterson.  
**Staff:** Amanda Christman, Town Clerk.  
**Absent:** Diane Dygve

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**The Regular Meeting was called to order by Chair Jarrendt at 7:31 PM.**

Order of Business:

1. Request for ARB Guidance on a Metal Porch Roof.

Royce Jarrendt / Jim Witt

12728 Clifton Heights Lane

The Architectural Review Board was asked to provide guidance on whether it would be permissible and/or desirable to add a metal roof to an existing porch if the roof of the house is asphalt shingle. After a discussion, the ARB determined that they would like to encourage as

many metal roofs in Town as possible, while understanding the extra costs. It was noted that the ARB would not approve the reverse scenario, where an applicant wishes to install an asphalt shingle roof atop a porch when the main house is roofed with metal.

2. COA application for Outdoor Office Sign.

Peter Market / Market Wealth Management, LLC  
12644 Chapel Road

**See attached application.**

The ARB noted that businesses located toward the interior area of the building may not post signage on the front of the building and indicated that the proposed sign should be posted facing the court yard. The total square footage of the sign is twelve (12), which is the maximum allowed by the Zoning Ordinance.

The applicant reported that the business occupies most of the first floor, and the sign would be posted on the wall directly above the business.

- **Member Stein moved to approve the application as discussed, seconded by Member Peterson. The motion was approved by poll, 6-0.**

3. COA Application for Outdoor Sign.

Robin Moser / Virginia Mercantile, LLC  
12644 Chapel Road

**See attached application.**

The ARB prefers a bracket-mounted sign, although it was acknowledged that the preferred style may not be feasible in the specified location on the building. It was agreed that the sign could be attached to the building, centered above the business's window on the gable-side of the building, depicted as Option "3," on the application, for a total of four (4) square feet of sign material.

- **Member Lovett moved to approve the application as discussed, seconded by Town Council Representative Member McDonald. The motion was approved by poll, 6-0.**

4. COA Application for Outdoor Signs.

Michelle Trainor / Clifton Café  
7144 Main Street

**See attached application.**

- **Member Stein moved to approve the round sign in the gable, the existing sign at the stairwell going up on the right-hand side of the building, and the sandwich board sign, which together comprise over twelve (12) square feet of sign material but is less than thirty (30) square feet using in the alternate compliance method as provided by the Zoning Ordinance, seconded by Member Yantis. The motion was approved by poll, 6-0.**

5. COA Application for Safety Deck.

Reed Hall / Amanda Jones  
12725 Clifton Heights Lane

**See attached application.**

- **Town Council Representative Member McDonald moved to approve the application, which is meant to match what has previously been approved, seconded by Member Stein. The motion was approved by poll, 6-0.**

6. COA Application for Outdoor Sign.  
Donald Gibson / The Hair Garage, LLC  
12644 Chapel Road

**See attached application.**

The ARB provided guidance on what is and is not permissible for signs under the Town Code. The applicant will provide a design based on this feedback for consideration at the next meeting.

7. COA Application for Addition & Modification to Existing Structure.  
Royce Jarrendt / Dianne Charneco  
12851 Redbird Ridge Road

**See attached application.**

The ARB indicated that wood windows possess certain esthetic elements that the Town desires, unlike clad window materials, and would be unlikely to approve non-wood windows without knowing the specifics in advance. A new application will be submitted taking this guidance into account at the next meeting.

8. ARB Administrative Policy.

The Members acknowledged that Certificates of Appropriateness (COAs) are only good for six months, which could pose major challenges to projects that have been delayed due to the COVID-19 pandemic. The Board determined that COAs should have the same expiration length as Preliminary Use Permits do, which is two (2) years.

9. 7184 Clifton Road – Update.

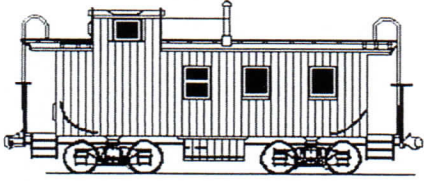
The ARB asked the Clerk to send a letter to Fairfax County staff as soon as possible to inform them of the recent sale of the above-named property.

10. Approve February 2021 Meeting Minutes.

- **Member Stein moved to approve the February 2021 Minutes as presented, seconded by Member Yantis. The motion was approved by poll, 6-0.**

11. Adjournment.

The meeting was adjourned by acclamation at 9:06 PM.



CLIFTON ARCHITECTURAL REVIEW BOARD  
TOWN OF CLIFTON, VIRGINIA  
APPLICATION FOR CERTIFICATE OF  
APPROPRIATENESS

DATE OF APPLICATION: 4/1/21  
NAME OF APPLICANT OR AGENT: Peter J. Market  
ADDRESS: 12644 Chapel Rd. Suite 111  
TELEPHONE: 703-266-5500 Email peter@marketwm.com  
LOCATION OF PROPERTY INCLUDING STREET ADDRESS AND TAX MAP  
NUMBER: 12644 Chapel Road - 075-42-0023A  
GENERAL DESCRIPTION OF PROPOSAL:  
Outdoor office sign

ATTACHMENTS:

- APPLICATION FEE\*
- Two (2) HARD COPIES AND ONE ELECTRONIC COPY OF APPLICATION WITH PLATS, ARCHITECTURAL DRAWINGS, FLOOR PLANS, ETC.

I UNDERSTAND THAT ALL SUBMISSION REQUIREMENTS MUST BE MET BEFORE THE ARB WILL REVIEW AN APPLICATION

SIGNATURE OF APPLICANT OR AGENT

DATE

CERTIFICATE ISSUED: YES

NO

(When marked "YES" and signed, this document becomes the "certificate of Appropriateness")

BY:

CHAIRMAN, ARB

DATE

ARB MEMBERS' INITIALS:

CONDITIONS:

IF CERTIFICATE IS NOT TO BE ISSUED, THE ARB SHALL STATE THE BOARD'S REASON:

\*Application fee:

- Sign/Fence: \$10.00; if after installation: \$50.00
- Addition/remodeling project up to 200 SF: \$100.00
- Addition/remodeling project exceeding 200 SF \$250.00
- New home construction: \$250.00

The applicant shall also pay any actual costs of any review fees incurred by the ARB, including any consultant's fees and other costs set forth in Virginia State Code Section 15.2-2286.



Quantity: 1

Custom Routed 12mm White PVC  
With Full Color Digitally Printed Vinyl Graphics

Copy: MVM logo

Mount: Standoffs

1" cap diameter, 1" barrel depth

**Approval states that contents of this proof are correct and the responsibility of the client**

Please review Art for accuracy in:

**Dimension • Layout**

**Spelling • Color**

Due to limitations in the printing process the colors shown may not reflect actual colors. Color may vary slightly. If exact color match is required please contact SAR representative.

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Approval Signature:

Approval Signature:



CLIFTON ARCHITECTURAL REVIEW BOARD  
TOWN OF CLIFTON, VIRGINIA  
APPLICATION FOR CERTIFICATE OF  
APPROPRIATENESS

DATE OF APPLICATION: 3/8/2021  
 NAME OF APPLICANT OR AGENT: Robin Maser  
 ADDRESS: 6424 John Jackson Ct. Fairfax Station, VA 22059  
 TELEPHONE: 571-549-8880 email vamercentile@gmail.com  
 LOCATION OF PROPERTY INCLUDING STREET ADDRESS AND TAX MAP  
 NUMBER: Clifton House, 12044 Swite F Chapel Rd.  
 GENERAL DESCRIPTION OF PROPOSAL:  
Request approval to install two signs - one in the front  
of Clifton House, and one on the parking lot side.  
23.75" x 25.5" Sand Blasted, Weddgrain Texture  
Background

ATTACHMENTS:

- APPLICATION FEE\*
- Two (2) HARD COPIES AND ONE ELECTRONIC COPY OF APPLICATION WITH PLATS, ARCHITECTURAL DRAWINGS, FLOOR PLANS, ETC.  
*Electronic only, unless requested.*

I UNDERSTAND THAT ALL SUBMISSION REQUIREMENTS MUST BE MET BEFORE THE ARB WILL REVIEW AN APPLICATION

Robin Maser  
 SIGNATURE OF APPLICANT OR AGENT  
 CERTIFICATE ISSUED: YES

3/8 3/8/2021  
 DATE  
 NO

(When marked "YES" and signed, this document becomes the "certificate of Appropriateness")

BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 CHAIRMAN, ARB  
 ARB MEMBERS' INITIALS: \_\_\_\_\_  
 CONDITIONS: \_\_\_\_\_

IF CERTIFICATE IS NOT TO BE ISSUED, THE ARB SHALL STATE THE BOARD'S REASON: \_\_\_\_\_

\*Application fee:  
 Sign/Fence: \$10.00; if after installation: \$50.00  
 Addition/remodeling project up to 200 SF: \$100.00  
 Addition/remodeling project exceeding 200 SF \$250.00  
 New home construction: \$250.00

The applicant shall also pay any actual costs of any review fees incurred by the ARB, including any consultant's fees and other costs set forth in Virginia State Code Section 15.2-2286.



OPTION 1 (0.75" Border)  
 24" x 24" Sand Blasted SS (x1)  
 Woodgrain Texture Background



OPTION 2 (0.75" Border)  
 24" x 24" Sand Blasted SS (x1)  
 Woodgrain Texture Background



OPTION 3 (0.75" Border)  
 22.75" x 25.5" Sand Blasted SS (x1)  
 Woodgrain Texture Background

**FASTSIGNS**  
 More than fast. More than signs.<sup>™</sup>  
 13968 Park Center Road, Herndon, VA 20171  
 703-435-8807 263@fastsigns.com

Account: VA Mercantile  
 Client Rep: Allyson Drawn By: Alyssa  
 Folder/File:  
 VAMercantile\_Size\_Type\_3-4-21

SPECIAL NOTES / FONTS

Artwork provided by client  
 - Resolution: Good

\*Details thickened for production (above 0.1" Thick)

COLOR(S)

■ PMS 7753  
 ■ PMS 432

LOCATION:

To: Architectural Review Board

Re: Clifton Café Signage

Date: 4/18/2021

Royce,

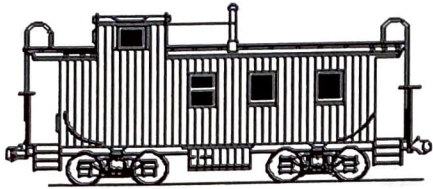
As requested, attached please find an updated ARB application for the business signage for the Clifton Café, located at 7144 Main Street, Clifton VA 20124. I will be in attendance for the 4/29 meeting to answer any questions.

In promotion of the business there are two signs with the café logo.

- 1) A gable sign measuring 37" x 45" that was submitted March 5<sup>th</sup> 2021 and based on a March 25<sup>th</sup> correspondence from the town of Clifton - approved. The specs for this sign are included in this packet for reference. This sign replaced an older larger that hung in the same location.
- 2) The second sign is a stairwell sign. This marks the second entrance to the café. This sign measures 30" x 24". Specs are included within this document. This also is a replacement to a sign that hung in the same location.
- 3) The third item is for a sandwich board. The sandwich board is 40" x 20", and meets the requirements of section *9.14,C.6 Sandwich boards*. My understanding is that each business is allowed one sandwich board and that they do not contribute to the maximum total signage allowed per business. The sign is positioned on the grass in front of the building

This ARB Application is asking for the certificate of appropriateness for both business signs approved above using the "Alternate Compliance Method". The street frontage of 7144 Main street is 95.6' and the building from side to side measures 38'. If a certificate of appropriateness is required for sandwich boards, that is also being requested.





CLIFTON ARCHITECTURAL REVIEW BOARD  
TOWN OF CLIFTON, VIRGINIA  
APPLICATION FOR CERTIFICATE OF  
APPROPRIATENESS

DATE OF APPLICATION: 4/19 (follow up to 3/5 application)  
 NAME OF APPLICANT OR AGENT: Michelle Trainor  
 ADDRESS: 7144 Main Street Clifton VA 20124  
 TELEPHONE: 703-980-3499 Email michelle.trainor@gmail.com  
 LOCATION OF PROPERTY INCLUDING STREET ADDRESS AND TAX MAP  
 NUMBER: 7144 Main Street Clifton VA 20124 0754 02 0032  
 GENERAL DESCRIPTION OF PROPOSAL:

- ① Gable Sign 45" x 37 1/2" approval email received 3/25
- ② Sign in Stairwell on side of building 30" x 24" asking for the "alternate Compliance method" to be used to calculate based on <sup>street</sup> frontage
- ③ Sandwich board - this meets the specs for Sec. 9-14.C-6. one sign per

ATTACHMENTS: business under 6sq ft and 40" tall,

- APPLICATION FEE\* mailed 3/5 but cancelling check and resending.
- Two (2) HARD COPIES AND ONE ELECTRONIC COPY OF APPLICATION WITH PLATS, ARCHITECTURAL DRAWINGS, FLOOR PLANS, ETC.

I UNDERSTAND THAT ALL SUBMISSION REQUIREMENTS MUST BE MET BEFORE THE ARB WILL REVIEW AN APPLICATION

Michelle Trainor  
SIGNATURE OF APPLICANT OR AGENT

4/19/2021  
DATE

CERTIFICATE ISSUED: YES

NO

(When marked "YES" and signed, this document becomes the "certificate of Appropriateness")

BY: \_\_\_\_\_  
CHAIRMAN, ARB

\_\_\_\_\_  
DATE

ARB MEMBERS' INITIALS: \_\_\_\_\_

CONDITIONS: \_\_\_\_\_

IF CERTIFICATE IS NOT TO BE ISSUED, THE ARB SHALL STATE THE BOARD'S REASON: \_\_\_\_\_

- \*Application fee:
- Sign/Fence: \$10.00; if after installation: \$50.00
- Addition/remodeling project up to 200 SF: \$100.00
- Addition/remodeling project exceeding 200 SF \$250.00
- New home construction: \$250.00

The applicant shall also pay any actual costs of any review fees incurred by the ARB, including any consultant's fees and other costs set forth in Virginia State Code Section 15.2-2286.


(1) DF 45" wide x 37-1/2" high x 1-1/2" deep HDU Hanging Sign

Clifton Cafe



1" deep inner green elements to be recessed (routed out).  
 "CLIFTON CAFE", black graphics & lines to be applied vinyl.

1-1/2" thick black outer outline & beige to be raised.  
 Black text to be in black HP applied vinyl.



23571 Pebble Run Place  
 Sterling, VA 20166  
 P: 703.542.8795

DATE 30 Nov 2020	BUILDER:
W/O #	Saleperson: BD/BF
SCALE:	PROJECT: Clifton Cafe
Drawn By: RBHauser	

File Name:

Client Approval:

APPROVED

APPROVED AS NOTED

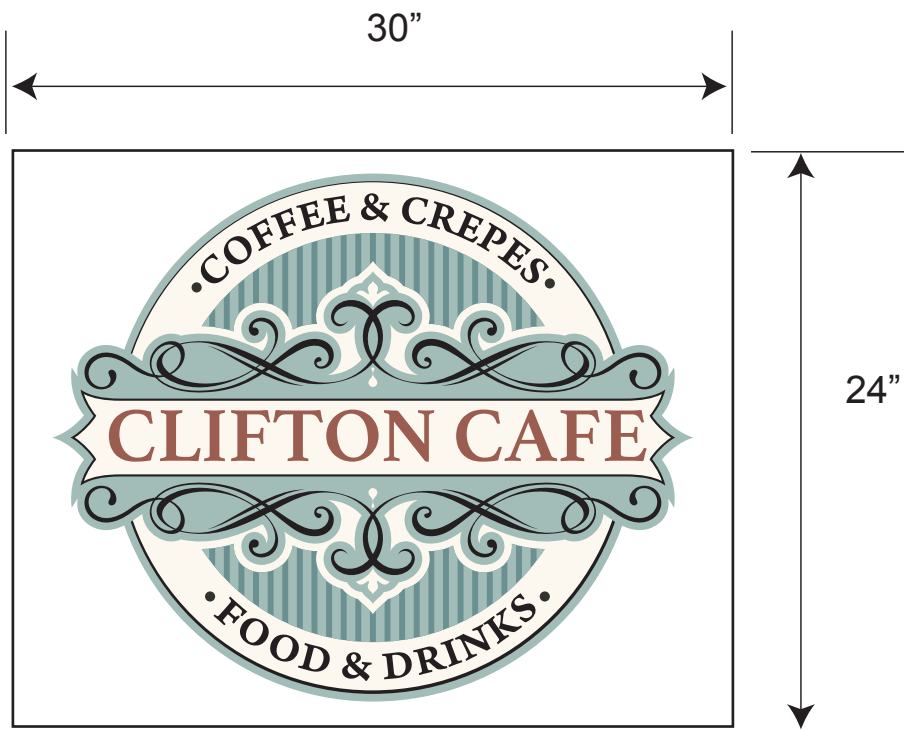
DISAPPROVED - REVISE AND RE-SUBMIT

Notes:


This drawing remains the property of DTI. Any unauthorized use or reproduction is prohibited.



(1) DF 24" high x 30" wide Sign



(1) 30" high x 24" wide x 1/4" ACM  
with digitally printed graphics

 23571 Pebble Run Place Sterling, VA 20166 P: 703.542.8795	DATE 1 Jun 2020	BUILDER:	File Name:	Client Approval: <input type="checkbox"/> APPROVED <input type="checkbox"/> APPROVED AS NOTED <input type="checkbox"/> DISAPPROVED - REVISE AND RE-SUBMIT	Notes:
	W/O #	Salesperson: BD/BF			
	SCALE:	PROJECT: Clifton Cafe			
	Drawn By: RBHauser				
This drawing remains the property of DTI. Any unauthorized use or reproduction is prohibited.					





VIDEO



## Rustic Magnetic A-Frame Chalkboard Sign / Extra Large 40" x 20" Free Standing Chalkboard Easel / Sturdy Sidewalk Sign Sandwich Board / Outdoor A Frame Chalk Board for Weddings & More!

Visit the HBCY Creations Store

★★★★★ 2,158 ratings | 80 answered questions

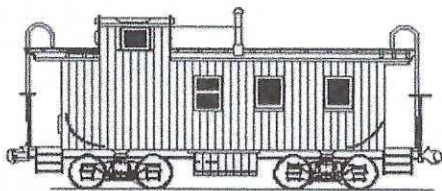
Price: **\$64.99** Prime FREE Delivery & FREE Returns

Save up to 7% with business pricing. Sign up for free Amazon Business account  
May be available at a lower price from other sellers, potentially without free Prime shipping.

Color: **1- Rustic Brown**



Size: **20" x 40" Classic**



CLIFTON ARCHITECTURAL REVIEW BOARD  
TOWN OF CLIFTON, VIRGINIA  
APPLICATION FOR CERTIFICATE OF  
APPROPRIATENESS

4/11/2021

DATE OF APPLICATION: \_\_\_\_\_  
NAME OF APPLICANT OR AGENT: Davis Reeder Hall IV  
ADDRESS: 12725 Cliftn Heights Lane, Clifton, VA 20124  
TELEPHONE: 571-437-1764 Email RHall@townandcountryanimalh.com  
LOCATION OF PROPERTY INCLUDING STREET ADDRESS AND TAX MAP  
NUMBER: 12725 Clifton Heights Lane, Clifton, VA 20124/□ 81152  
GENERAL DESCRIPTION OF PROPOSAL:  
Adding safety deck.

ATTACHMENTS:

- APPLICATION FEE\*
- Two (2) HARD COPIES AND ONE ELECTRONIC COPY OF APPLICATION WITH PLATS, ARCHITECTURAL DRAWINGS, FLOOR PLANS, ETC.

I UNDERSTAND THAT ALL SUBMISSION REQUIREMENTS MUST BE MET BEFORE THE ARB WILL REVIEW AN APPLICATION

*[Signature]*  
SIGNATURE OF APPLICANT OR AGENT

4/11/21  
DATE

CERTIFICATE ISSUED: YES

NO

(When marked "YES" and signed, this document becomes the "certificate of Appropriateness")

BY: \_\_\_\_\_

DATE \_\_\_\_\_

CHAIRMAN, ARB

ARB MEMBERS' INITIALS: \_\_\_\_\_

CONDITIONS: \_\_\_\_\_

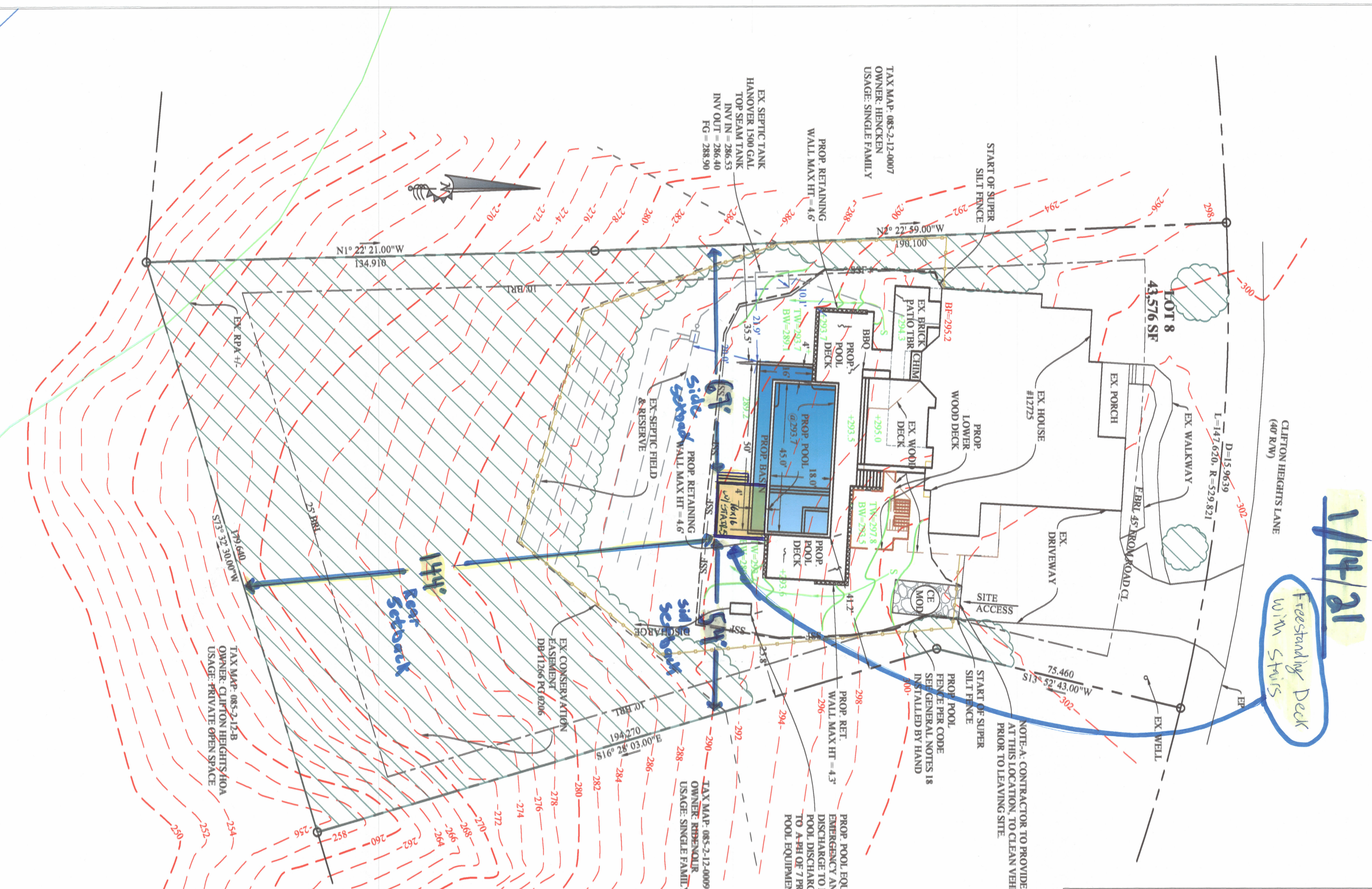
IF CERTIFICATE IS NOT TO BE ISSUED, THE ARB SHALL STATE THE BOARD'S REASON: \_\_\_\_\_

\*Application fee:

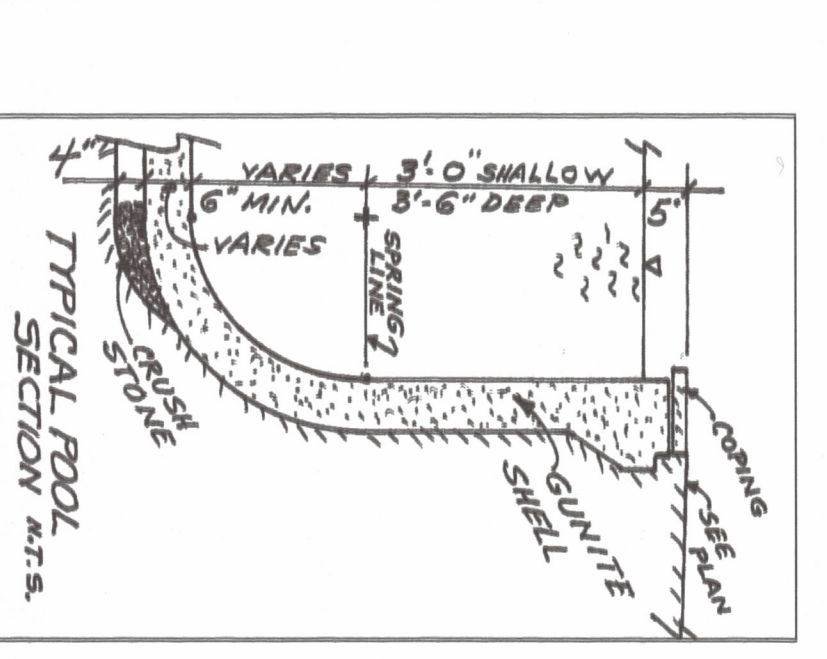
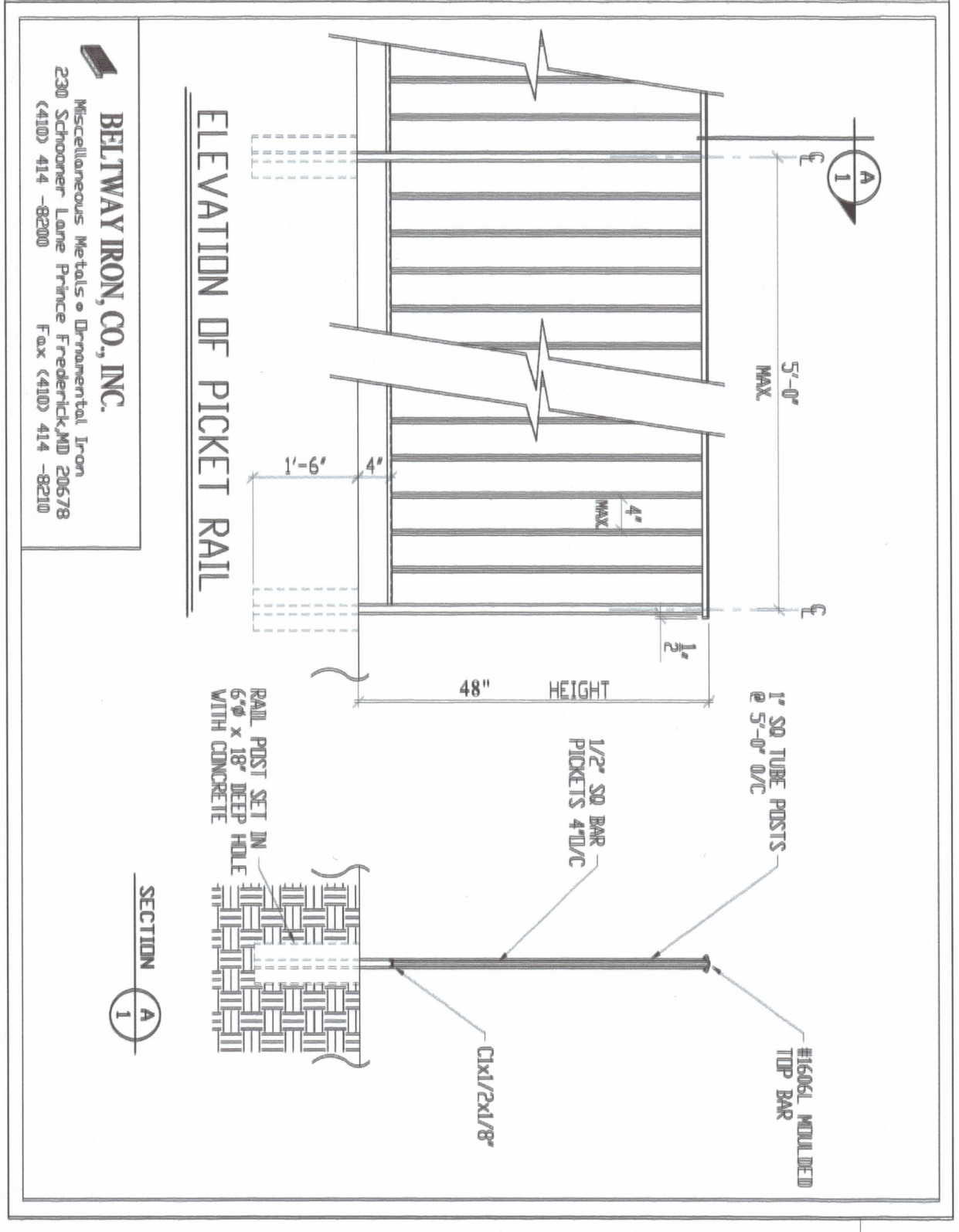
- Sign/Fence: \$10.00; if after installation: \$50.00
- Addition/remodeling project up to 200 SF: \$100.00
- Addition/remodeling project exceeding 200 SF \$250.00
- New home construction: \$250.00

The applicant shall also pay any actual costs of any review fees incurred by the ARB, including any consultant's fees and other costs set forth in Virginia State Code Section 15.2-2286.

NOTE: Elevations stated in NGVD29 on horizontal datum of VCS NAD 1983. North Zone



1/14/21  
Freeskating Deck w/In Slats



**SPECIAL NOTE:** I certify that a net increase in stormwater runoff will have no negative impact on downgradient stream.

- POOL WATER DISCHARGE NOTES:**
1. LET POOL WATER STAY UNTREATED FOR AT LEAST SEVEN DAYS TO ALLOW CHLORINE OR BROMINE TO DISSIPATE.
  2. TEST THE PH OF THE POOL WATER TO ENSURE IT IS NEUTRAL (PH 7.0-7.6) BEFORE DRAINING.
  3. REMOVE EXCESS SEDIMENT AND LEAVES FROM THE WATER.
  4. DRAIN POOL WATER OVER A WELL-VEGETATED AREA ON THE OWNER'S PROPERTY TO SLOW IT DOWN AND AERATE IT. POOL WATER SHOULD NOT BE DRAINED DIRECTLY INTO A STORM DRAIN OR A STREAM.
  5. ERODE STREAM BANKS DOWNSIDE OF THE POOL.

**Pre and Post Impervious Area**

Area (ft <sup>2</sup> )	Area (ft <sup>2</sup> )
Pool	3,460
House	1,984
Den/Entry	1,086
Patios/Walkways	6,520
<b>Pre Total</b>	<b>13,050</b>
Pool	3,460
House	1,984
Den/Entry	559
Prop. Pool Deck	3,270
<b>Post Total</b>	<b>9,273</b>
<b>Total Impervious Area</b>	<b>9,273</b>



PLAN: 1" = 20'

ENTRANCE NOTE: DEPENDING ON ACTUAL SITE CONDITIONS AND LIMITATIONS IN THE FIELD, THE SITE INSPECTOR MAY ALLOW THE LENGTH OF THE STANDARD CONSTRUCTION ENTRANCE TO BE MODIFIED.

- GENERAL NOTES:**
1. ALL WORK PER APPLICABLE STATE & LOCAL CODE.
  2. PROPERTY: TAX MAP: 095-2-12-0008
  3. ZONING: R-5-D
  4. OWNER: DAVIS REEDER HALL
  5. 12722 CLIFTON HEIGHTS LANE, CLIFTON, VA 20124
  6. THE BOUNDARY SHOWN IS BASED ON PLAT: BY: TIMOTHY FERRELL, DATED: 10/26/16, TITLED: DRAINAGE FIELD PLAN
  7. THE CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION IN VICINITY OF WORK AREA.
  8. ALL EROSION CONTROL MEASURES SHALL CONFORM TO THE LATEST EDITION OF STATE AND LOCAL MODIFIED MANUALS.
  9. ZONING REQUIREMENTS: MIN. LOT SIZE: 217,800 SQ FT, MIN. LOT WIDTH: 100 FT, MAX. BLDG. HT.: 35 FT, SETBACKS: FRONT: 45 FT FROM ROAD CL, FT SIDE: 10 FT REAR: 25 FT, LOT NUMBER: 8
  10. ALL VEHICULAR TRAFFIC LEAVING SITE TO BE CHECKED TO ENSURE THAT SOIL IS NOT TRANSFERRED ONTO PUBLIC STREETS.
  11. IN ACCORDANCE WITH SWMO CHAPTER 124, THE IMPERVIOUS CALCULATIONS: IMPERVIOUS AREA: 9,273 S.F., TOTAL SITE AREA: 43,576 S.F., PROPOSED IMPERVIOUS AREA PERCENT: 21.23%
  12. DO NOT REMOVE TREES BETWEEN SILT FENCE (SF) AND LIMIT OF CONSTRUCTION (LOC).
  13. REMOVE ONLY THOSE TREES INSIDE THE LIMIT OF CONSTRUCTION TO ALLOW FOR CONSTRUCTION ITEMS AND PROPER GRADING.
  14. WATERSHED: POPES HEAD CREEK
  15. DISTRICT: SPRINGFIELD TOWN OF CLIFTON
  16. CONTRACTOR TO VERIFY ANY ADJACENT STRUCTURE FOOTINGS PRIOR TO CONSTRUCTION TO INSURE NO UNDERMINING CONDITION, AND FIRST PROTECTION.
  17. THE PRESENCE OF WETLANDS ON THE PROPERTY PROJECT AREA: NO
  18. PROPOSED POOL FENCE SHALL CONFORM TO BOCA PROVISIONS BEING A MINIMUM 48" TALL WITH LOCKABLE GATE SURROUNDING THE POOL. VERIFY WITH LATEST LOCAL CODE. FENCE TO BE PROVIDED FOR THE BUILDING INSPECTOR'S DISCRETION.
  19. UTILITIES: WATER: PRIVATE, SEWER: PRIVATE
  20. SEPARATE PERMIT REQUIRED FOR WALLS GREATER THAN 3' IN HEIGHT.
  21. SILT FENCE AND STORM WATER TO BE MONITORED BY CONTRACTOR OR AGENT DURING SIGNIFICANT RAIN EVENTS.

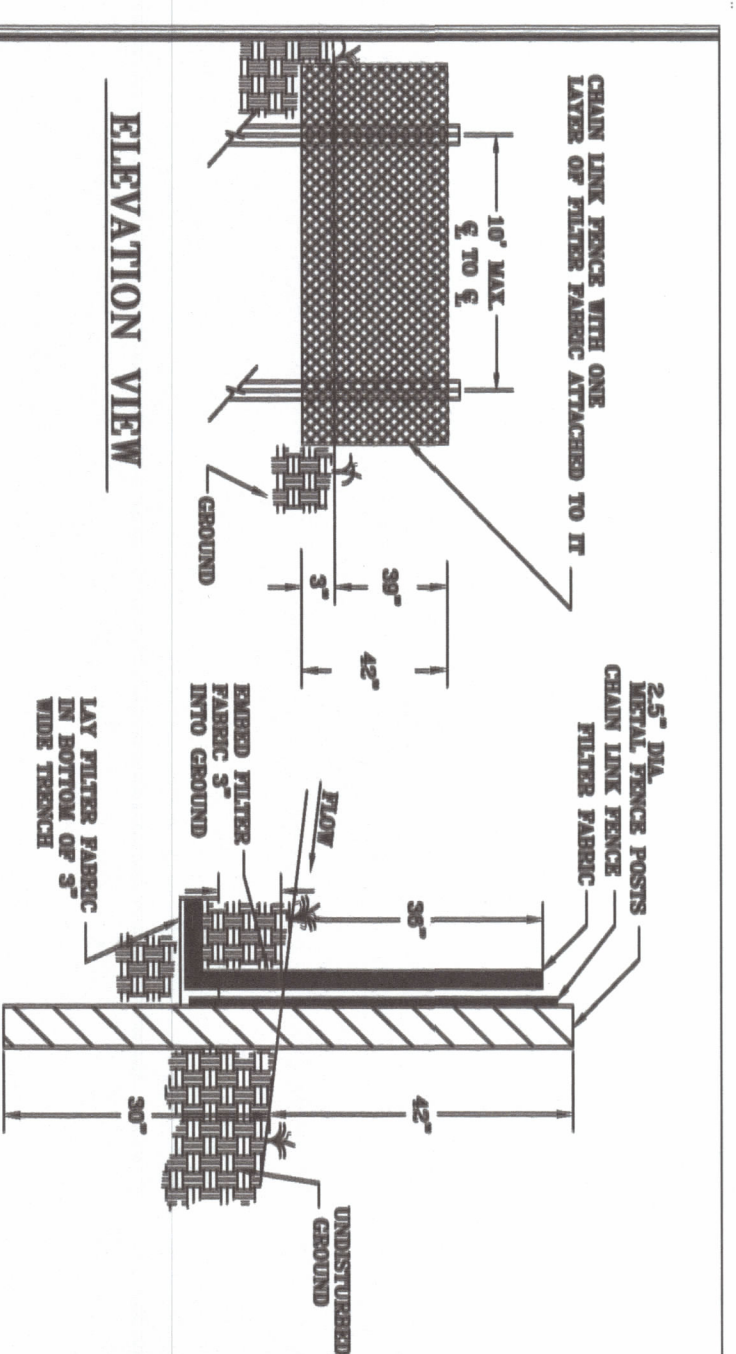
**GEOTECHNICAL NOTES:**

FOR ENGINEERING DESIGN REVIEW - PER PRESSURE RELEASE VALVES TO BE USED - SWIMMING POOL, BOTTOM SLAB AND WALL MUST BE UNDERLAIN AND BACKFILLED WITH NON-EXPANSIVE MATERIALS. ALTERNATIVELY, AN ENGINEERED DESIGN OF THE BOTTOM SLAB AND POOL WALL MUST BE PROVIDED. EITHER DESIGN SHALL INCLUDE LATERAL EARTH PRESSURES, SWELLING PRESSURE, EQUIVALENT FLUID PRESSURE FOR EXPANSIVE SOILS BE LESS THAN 90 PSF PER LINEAR FOOT OF THE WALL HEIGHT. THE STRUCTURAL DESIGN OF THE WALL SHALL BE SUBJECT TO APPROVAL OF BUILDING PLAN REVIEW.

CGEOTECHNICAL ENGINEERING SITE INSPECTION PRIOR TO POOL-SHELL CONSTRUCTION WILL EXTEND THROUGH PREVIOUSLY DISTURBED SOILS AND BEAR ON COMPETENT UNDISTURBED SOUND SOILS THAT CORRESPOND TO THE LATERAL PRESSURE USED IN THE DESIGN OF THE WALL AS LISTED BELOW. THE TOP OF THE BACKFILL SHALL BE ADEQUATELY SLOPED TO PREVENT WATER FROM ACCUMULATING AROUND THE STRUCTURE.

NOTE: PRESSURE RELEASE VALVES SHALL BE PROVIDED FOR THE RELEASE OF HYDROSTATIC PRESSURE WHEN THE POOL IS EMPTIED

"The grading/conservation contractor for the subject site is required to notify, in writing, the assigned site inspector regarding any excess material proposed to be handled offsite prior to handling. The notification must indicate the quantity of material to be moved offsite, identification of the receiving site where the excess will be taken, and all information necessary to show that such receiving site has been properly permitted and has EES Controls installed."



- NOTES:**
1. Chain link fence shall be fastened securely to fence posts with wire ties.
  2. Filter fabric shall be fastened securely to chain link fence with wire ties.
  3. Physical properties of the filter fabric shall conform to the latest edition of THE VIRGINIA DESIGN & CONSTRUCTION CONTROL HANDBOOK.
  4. When two layers of filter fabric are used, they shall be staggered.
  5. Maintenance shall be performed as needed and material shall be removed when sediment build-up reaches 50% of the height of the super silt fence.

SHEET 2: SITE PLAN

STRUCTURAL CIVIL

WILLIAM REEDER HALL, P.E.  
PNS REGISTERED WILLIAM REEDER HALL, P.E.  
781 7th Street, Suite 200  
Clifton, VA 20124  
Tel: 703-752-8888  
Fax: 703-752-8889

PROPOSER: POOL, DECK, PATIO  
WALLS, SWA

RESIDENCE:  
12722 CLIFTON HEIGHTS LN  
CLIFTON, VA 20124  
LOT 8  
CLIFTON HEIGHTS  
SPRINGFIELD,  
TOWN OF CLIFTON

DATE: 7/18/2018  
DRAWING: 17-12-3-C

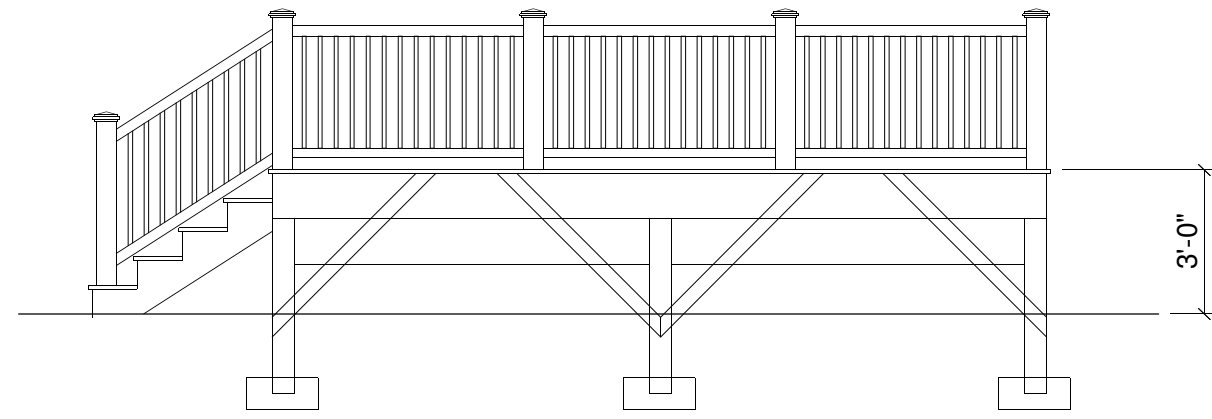


**GENERAL NOTES**

ALL WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL (IRC 2015), STATE, & LOCAL CODES.  
 ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MIN. BEARING CAPACITY OF 1,500 PSF & 24" MIN. BELOW FIN. GRADE.  
 ALL STRUCTURAL CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 PSI @ 28 DAYS WITH 6% AIR ENTRAPMENT & 5" MAX. SLUMP.  
 MASONRY UNITS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 2,000 PSI.  
 UNLESS OTHERWISE NOTED, ALL STRUCTURAL FRAMING LUMBER SHALL BE NO.2 SPF (KILN DRIED) WITH A MIN. FB = 1000 PSI (SINGLE MEMBER USE) AND E = 1,400,000 PSI.  
 ALL FASTENERS IN DIRECT CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

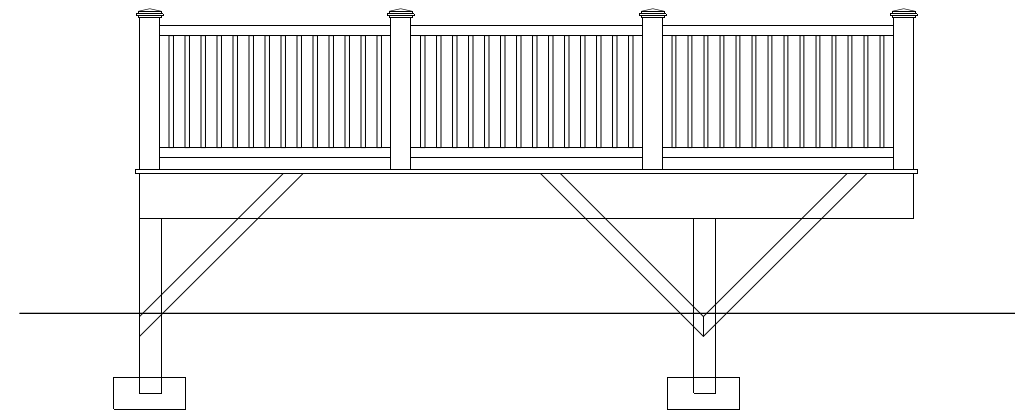
**MINIMUM DESIGN LOADS**

DECKS .....40 PSF (LIVE) + 10 PSF (DEAD)



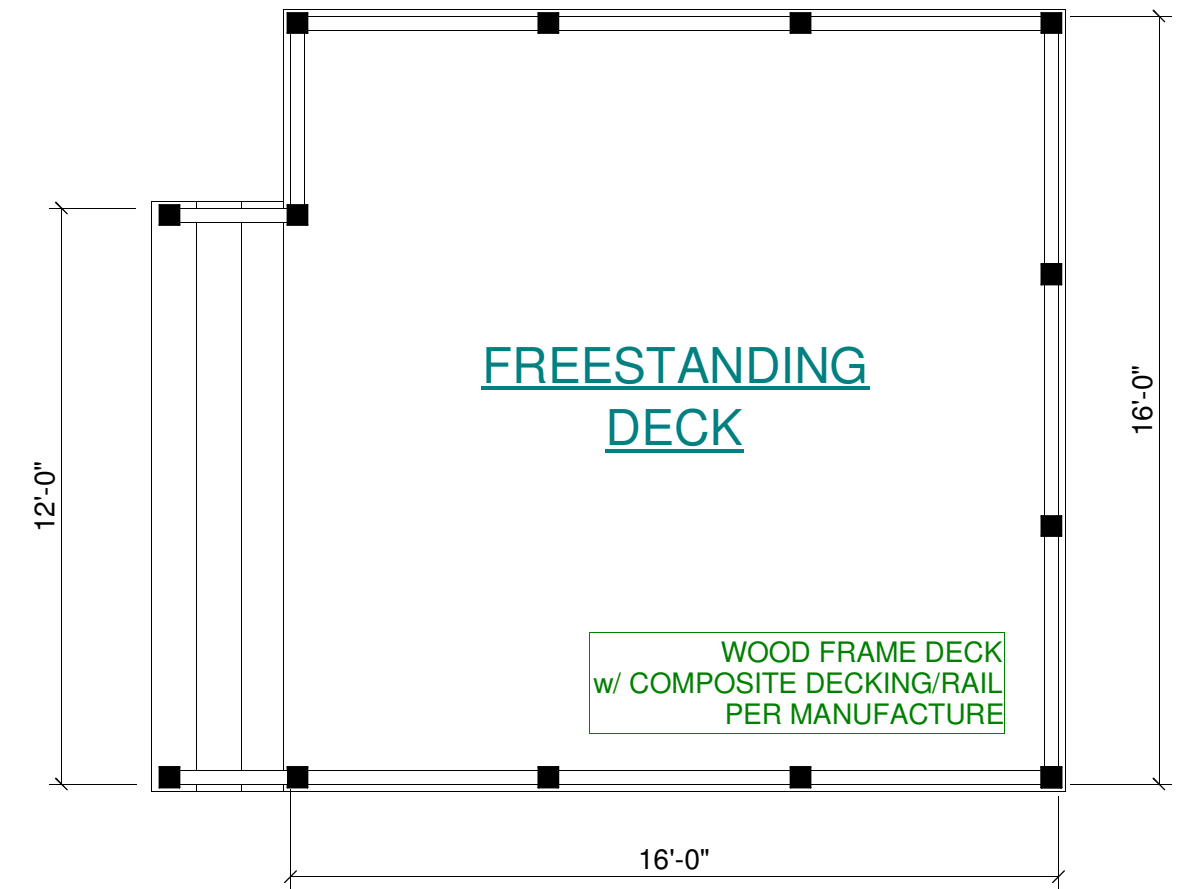
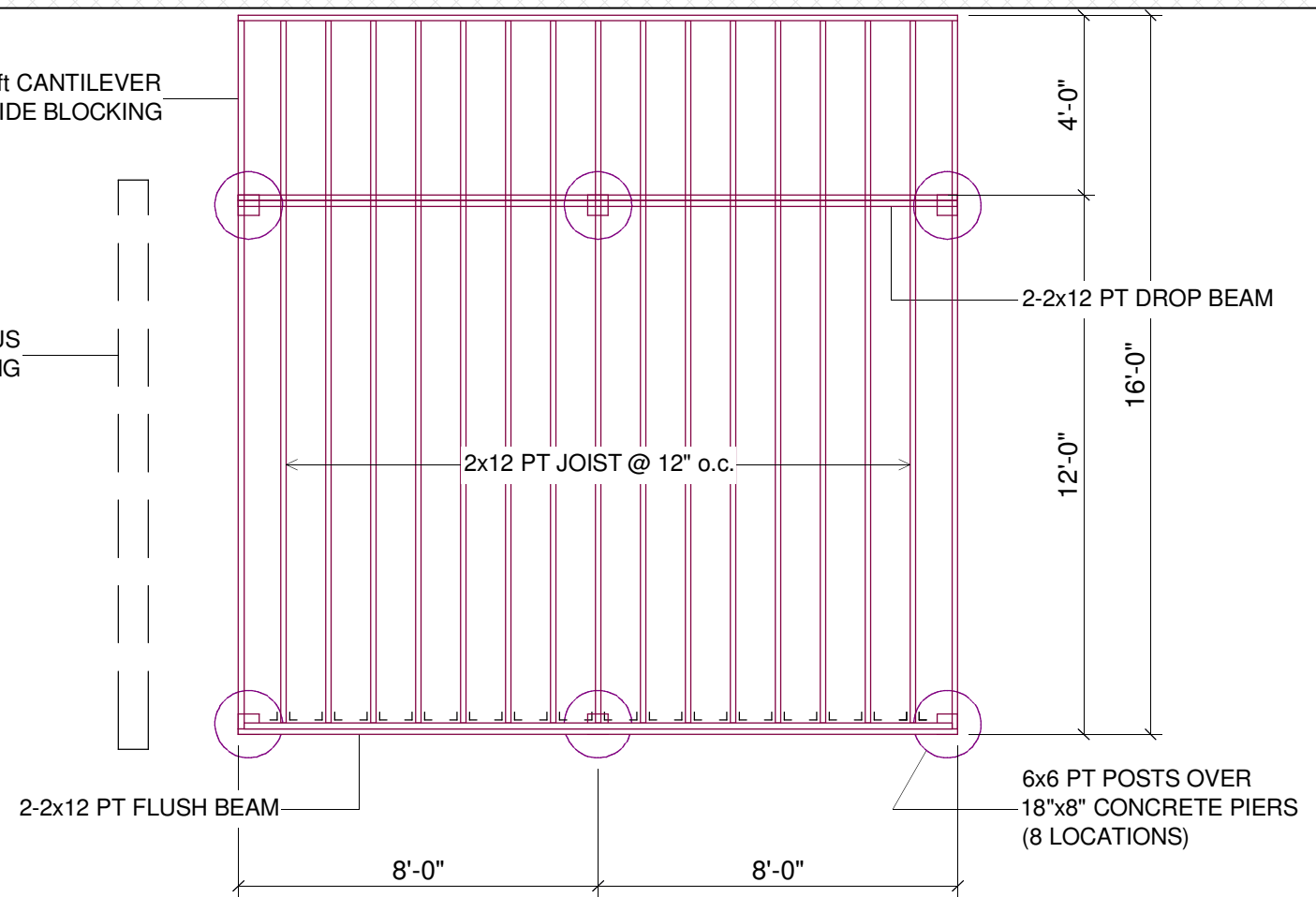
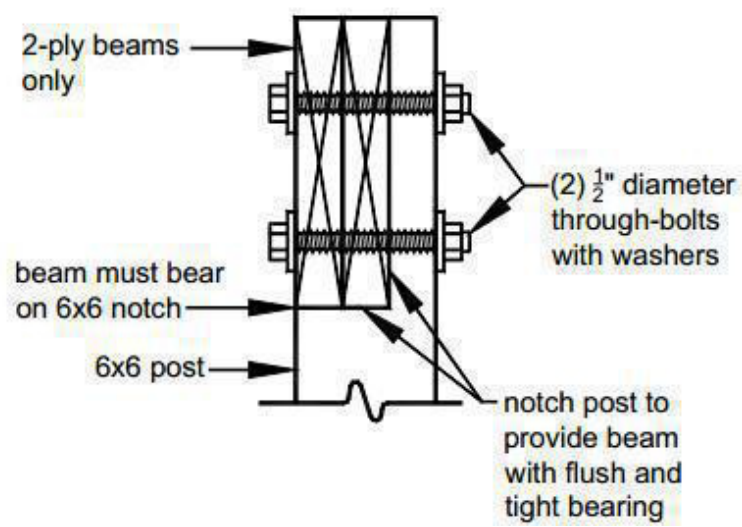
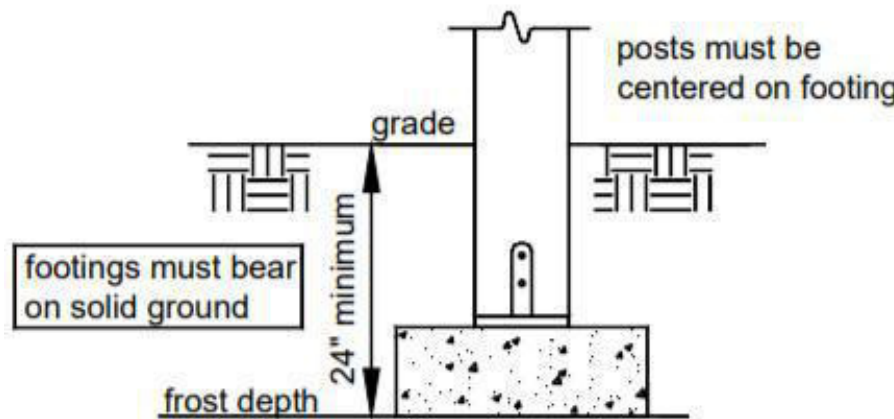
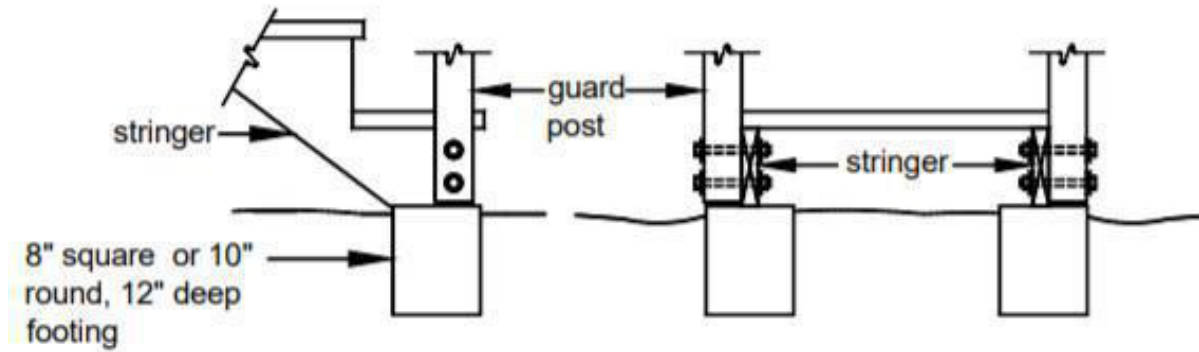
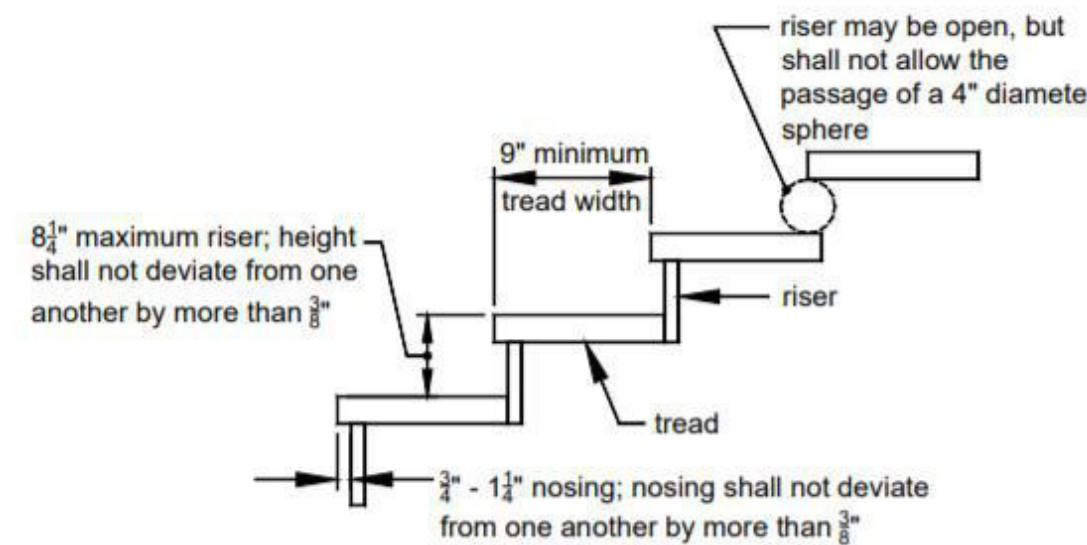
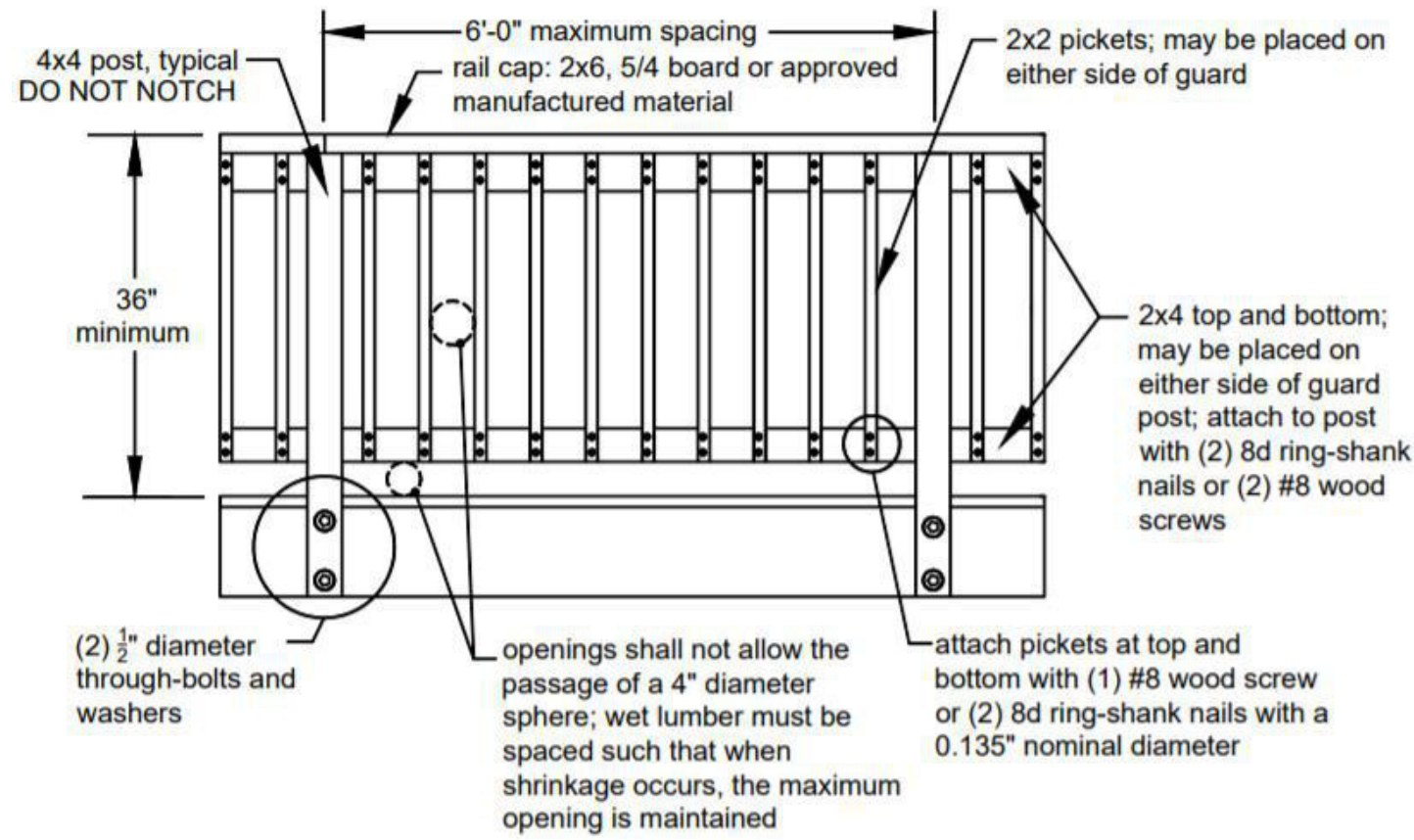
**FRONT ELEVATION**

1/4" = 1'-0"



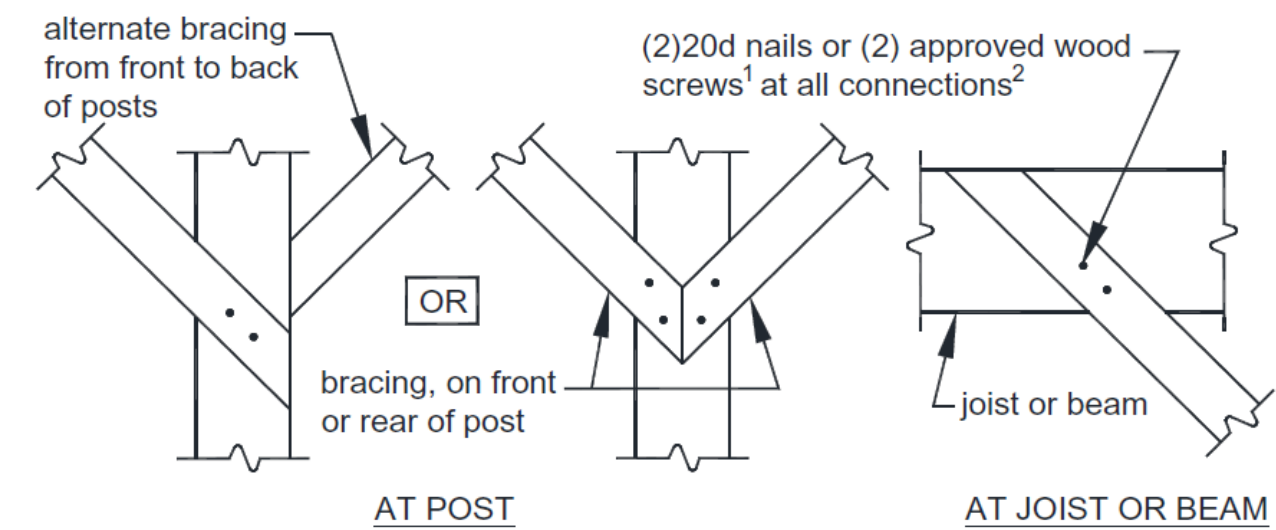
**SIDE ELEVATION**

1/4" = 1'-0"

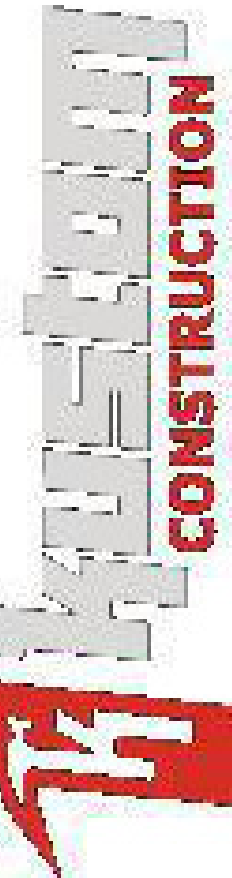


**FRAMING PLAN**

1/4" = 1'-0"



DRAWN / CHECKED:  
 A.P. PALLADINO / GREENFIELD  
 DATE: 01/06/21  
 SCALE: AS NOTED



**HALL FREESTANDING DECK**

REVISION	APPROVED BY:
	1
	1

TRADITIONALLY, DECKING CAME IN  
BROWN OR LIGHTER BROWN.

*Fortunately, we've never been one for tradition.*

TREX DECKING

Decking Color

GREYS

BROWNS

REDS

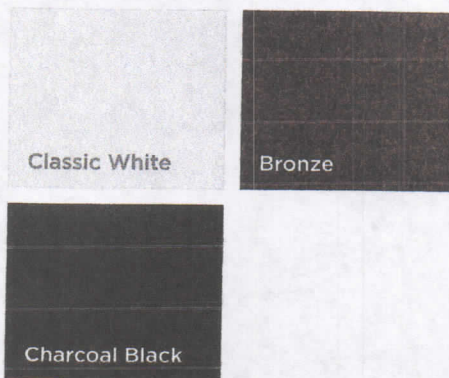
	GREYS	BROWNS		REDS	
TREX TRANSCEND PREMIUM TROPICALS	Island Mist	Tiki Torch	Havana Gold	Spiced Rum	Lava Rock
TREX TRANSCEND CLASSIC EARTH TONES	Gravel Path	Rope Swing	Tree House	Vintage Lantern	Fire Pit
TREX ENHANCE	Clam Shell	Beach Dune	Saddle		
TREX SELECT	Pebble Grey	Saddle	Woodland Brown		Madeira
	Winchester Grey				

Homes come in all hues, so why shouldn't decking and railing?  
 Our spectrum of fade-resistant colors features varying tones and wood-grain finishes to give you unmatched control over the design of your deck. And now, for the first time ever, you can order a sample board right to your doorstep to get an up-close glimpse at what your future deck might be like. Just visit [trex.com/shop](http://trex.com/shop) to get started.

TREX RAILING

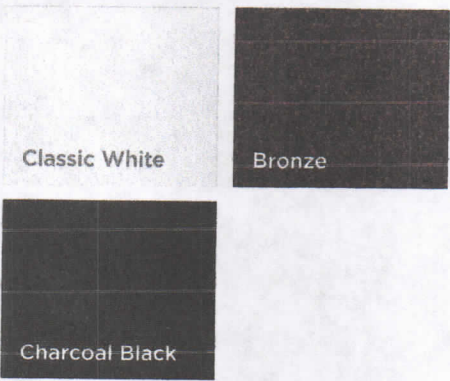
TREX OUTDOORLIGHTING

TREX TRANSCEND



TREX REVEAL

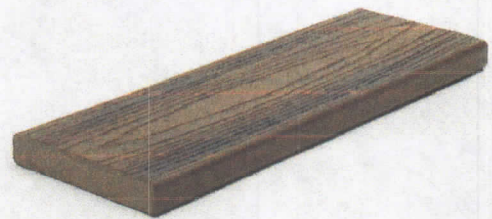
ALUMINUM RAILING



TREX SELECT

Classic White

ORDER A DECK BOARD SAMPLE



See how Trex will look in your outdoor space with a deck board sample sent straight to your home. All 18 of our decking colors are available online at [trex.com/shop](http://trex.com/shop) so be sure to order all of your favorites.



VALUE SERIES TRADITIONAL RAIL | SQUARE VINYL BALUSTER

## Design options

Featuring **Decorators**® Balusters

WOLF top and bottom rails are available in white, almond and khaki.

Traditional and Designer Profiles are compatible with a variety of baluster options providing a range of looks from classic to contemporary. Balusters come in vinyl, aluminum and glass, giving you incredible design flexibility. Add in a variety of accessories, custom capabilities for curved rail and custom lengths, gate kits and more, and the options are too many to count!

### Available Colors



WHITE

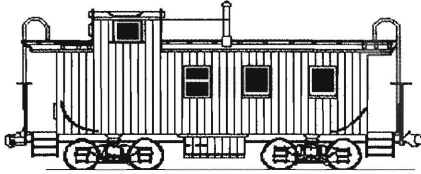


ALMOND



KHAKI

Deck Trim, Rail and Posts



CLIFTON ARCHITECTURAL REVIEW BOARD  
 TOWN OF CLIFTON, VIRGINIA  
 APPLICATION FOR CERTIFICATE OF  
 APPROPRIATENESS

DATE OF APPLICATION: MARCH 27, 2021  
 NAME OF APPLICANT OR AGENT: The HAIR GARAGE, LLC  
 ADDRESS: 12644 CHAPEL ROAD #114  
 TELEPHONE: 703 863 9088 Email d.gibson@cliftonagency.com  
 LOCATION OF PROPERTY INCLUDING STREET ADDRESS AND TAX MAP  
 NUMBER: 12644 CHAPEL ROAD CLIFTON, VA 20124  
 GENERAL DESCRIPTION OF PROPOSAL:  
SIGN FOR HAIR GARAGE

ATTACHMENTS:

- APPLICATION FEE\*
- Two (2) HARD COPIES AND ONE ELECTRONIC COPY OF APPLICATION WITH PLATS, ARCHITECTURAL DRAWINGS, FLOOR PLANS, ETC.

I UNDERSTAND THAT ALL SUBMISSION REQUIREMENTS MUST BE MET BEFORE THE ARB WILL REVIEW AN APPLICATION

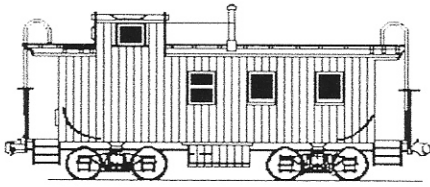
[Signature] 3/27/21  
 SIGNATURE OF APPLICANT OR AGENT DATE  
 CERTIFICATE ISSUED: YES NO  
 (When marked "YES" and signed, this document becomes the "certificate of Appropriateness")  
 BY: \_\_\_\_\_  
 CHAIRMAN, ARB DATE  
 ARB MEMBERS' INITIALS: \_\_\_\_\_  
 CONDITIONS: \_\_\_\_\_

IF CERTIFICATE IS NOT TO BE ISSUED, THE ARB SHALL STATE THE BOARD'S REASON: \_\_\_\_\_

\*Application fee:  
 Sign/Fence: \$10.00; if after installation: \$50.00  
 Addition/remodeling project up to 200 SF: \$100.00  
 Addition/remodeling project exceeding 200 SF \$250.00  
 New home construction: \$250.00

The applicant shall also pay any actual costs of any review fees incurred by the ARB, including any consultant's fees and other costs set forth in Virginia State Code Section 15.2-2286.





CLIFTON ARCHITECTURAL REVIEW BOARD  
TOWN OF CLIFTON, VIRGINIA  
APPLICATION FOR CERTIFICATE OF  
APPROPRIATENESS

DATE OF APPLICATION: 4/15/2021

NAME OF APPLICANT OR AGENT: Royce Jarrendt / for Dianne Charneco

ADDRESS: 12639 Chapel Rd.

TELEPHONE: 703 932-5762 Email Royce.jarr@yahoo.com

LOCATION OF PROPERTY INCLUDING STREET ADDRESS AND TAX MAP

NUMBER: 12851 Redbird Ridge Rd.

GENERAL DESCRIPTION OF PROPOSAL:

Addition & modifications to the existing structure

ATTACHMENTS:

- APPLICATION FEE\*
- Two (2) HARD COPIES AND ONE ELECTRONIC COPY OF APPLICATION WITH PLATS, ARCHITECTURAL DRAWINGS, FLOOR PLANS, ETC.

I UNDERSTAND THAT ALL SUBMISSION REQUIREMENTS MUST BE MET BEFORE THE ARB WILL REVIEW AN APPLICATION

  
SIGNATURE OF APPLICANT OR AGENT

4/15/2021  
DATE

CERTIFICATE ISSUED: YES NO  
(When marked "YES" and signed, this document becomes the "certificate of Appropriateness")

BY: \_\_\_\_\_  
CHAIRMAN, ARB DATE

ARB MEMBERS' INITIALS: \_\_\_\_\_

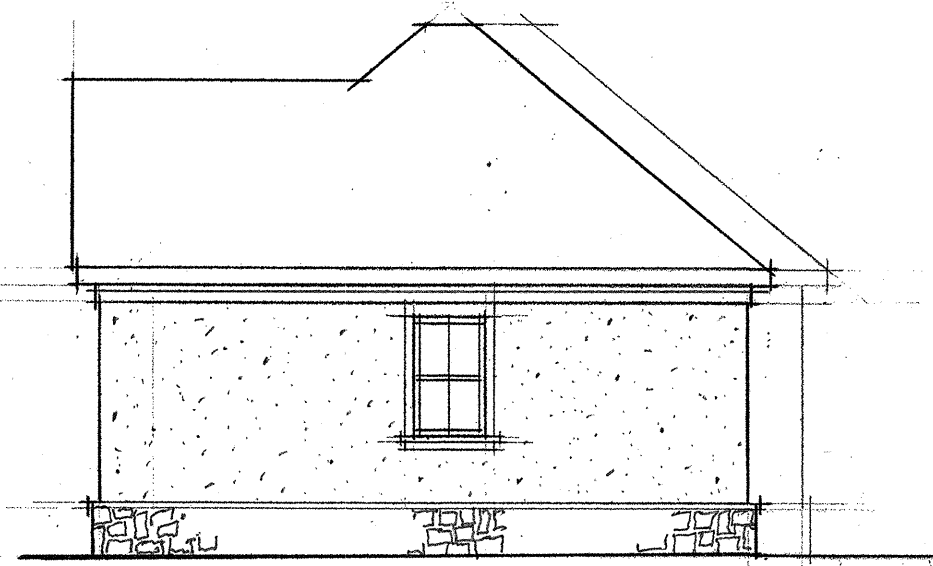
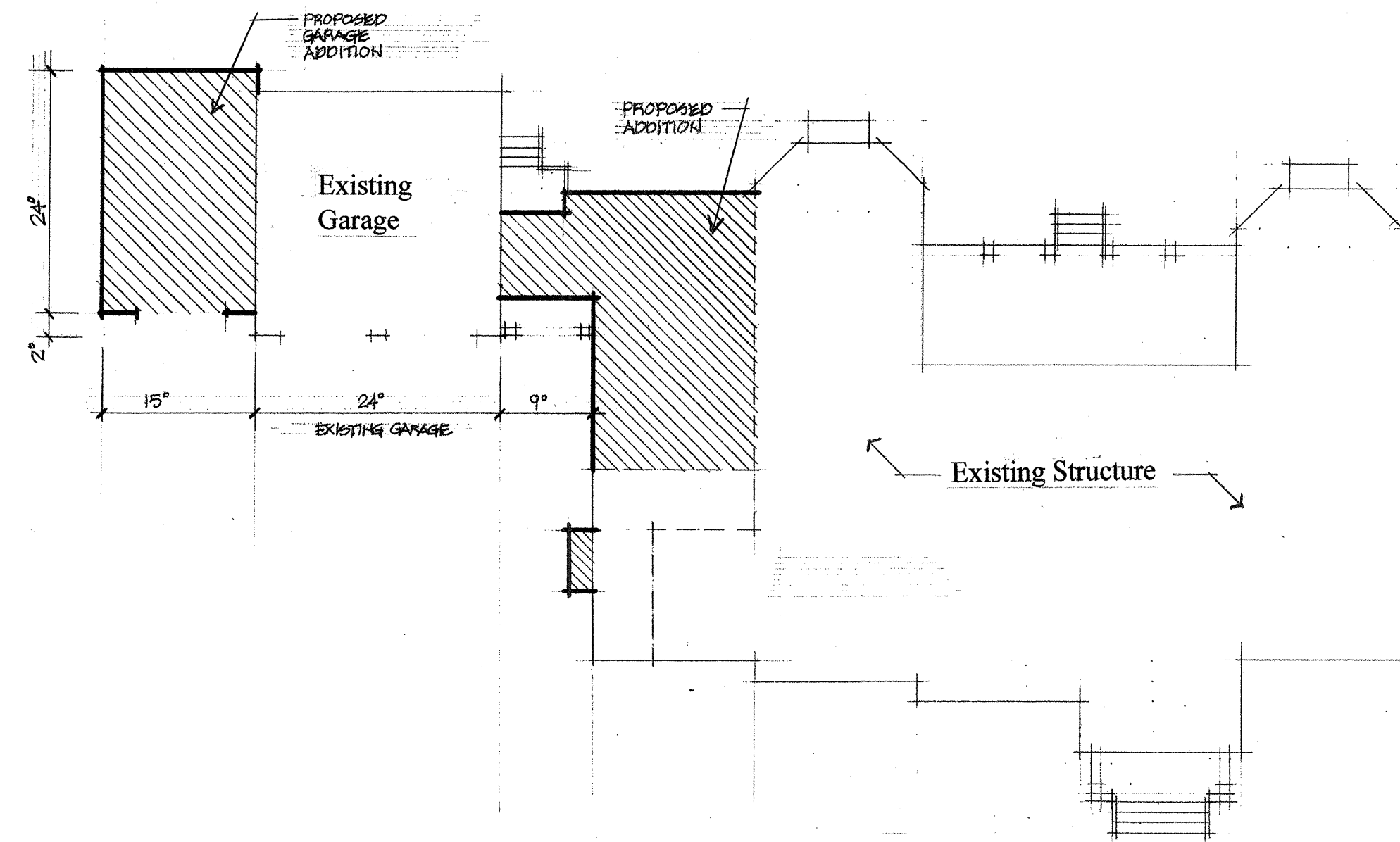
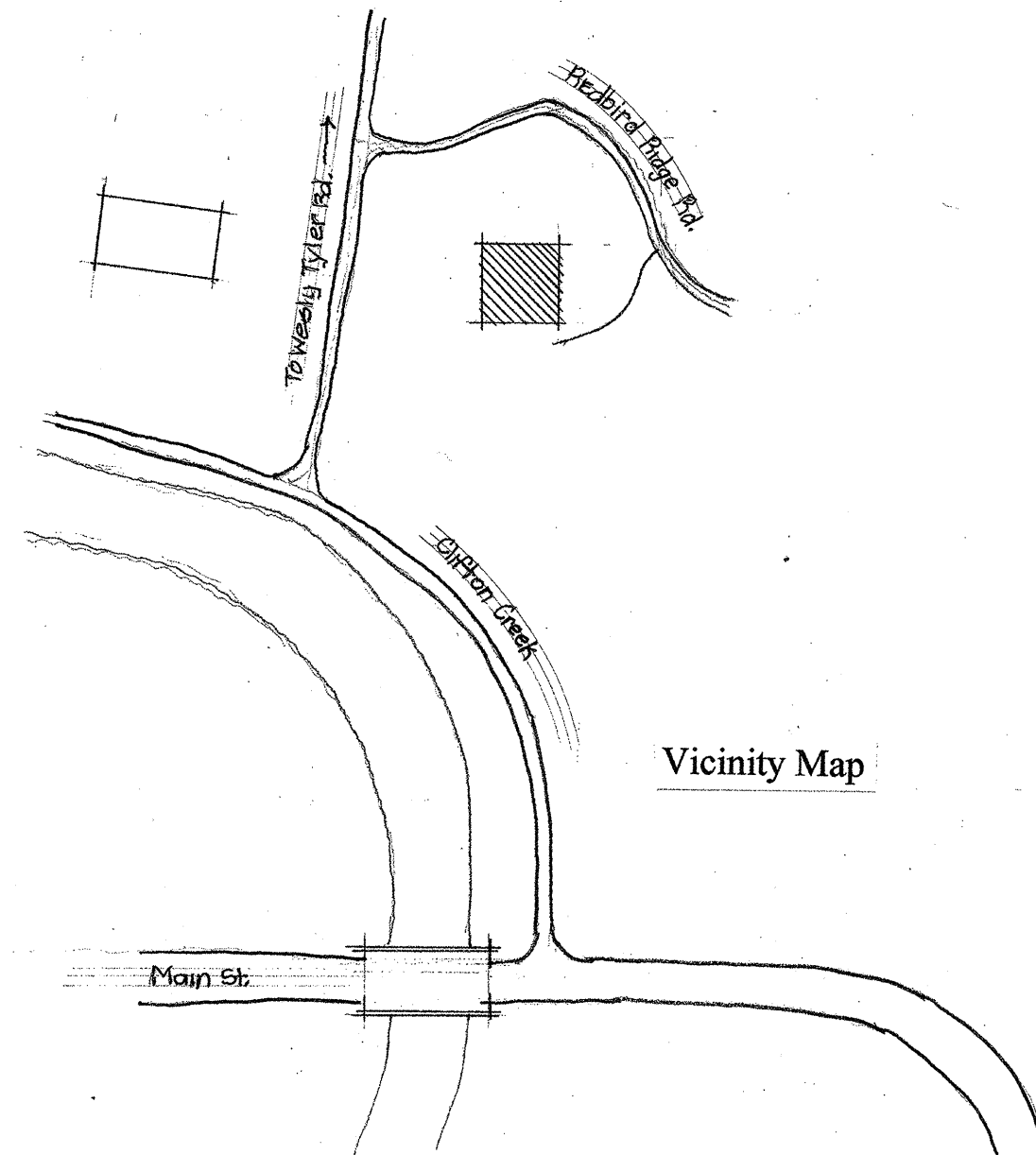
CONDITIONS: \_\_\_\_\_

IF CERTIFICATE IS NOT TO BE ISSUED, THE ARB SHALL STATE THE BOARD'S REASON: \_\_\_\_\_

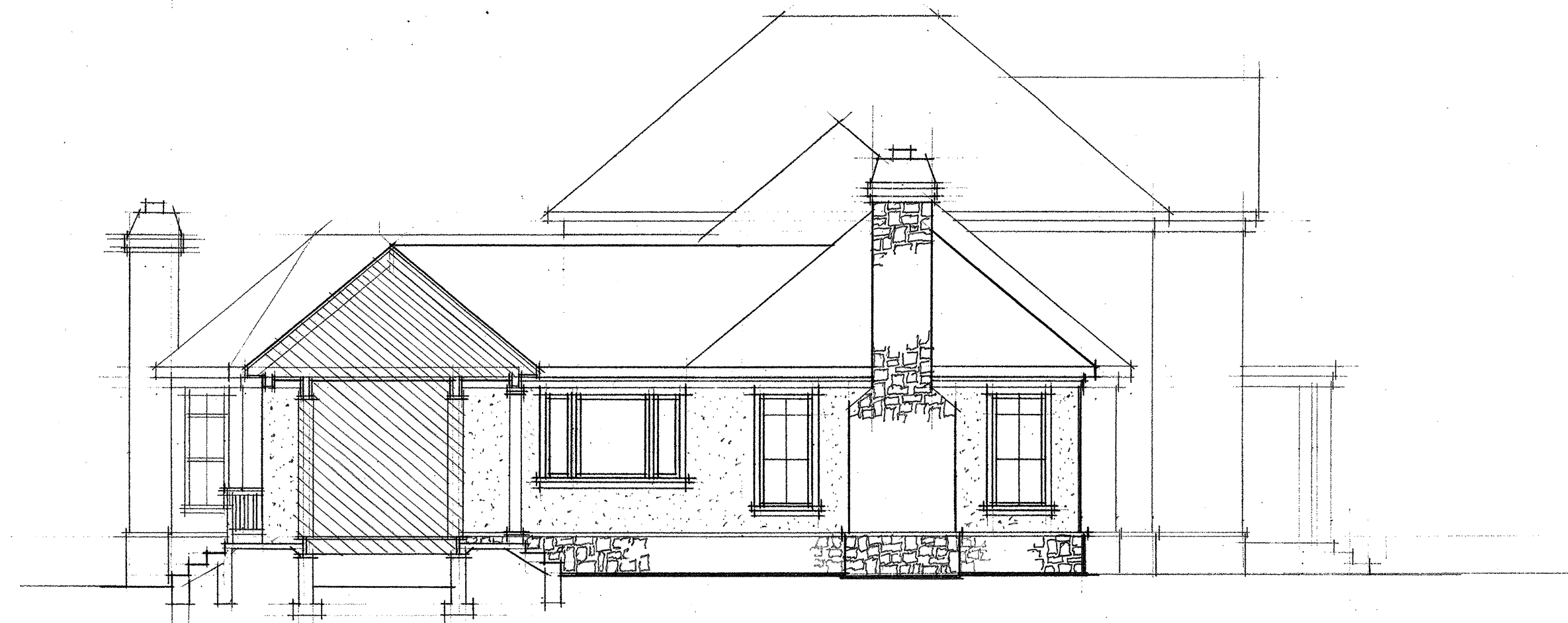
\*Application fee:

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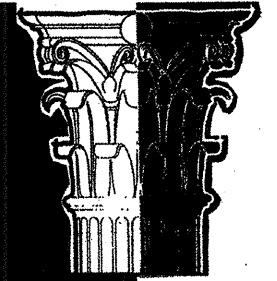
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Garage Side Elevation



Left Side Elevation



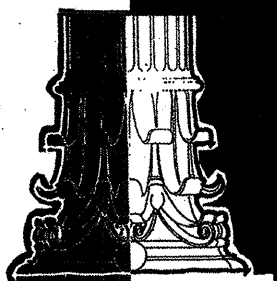
**ROYCE CHARLES JARRENT**

Architect  
Clifton, Virginia 20124

703-932-5762

12639 Chapel Road

12851 Redbird Ridge Rd.



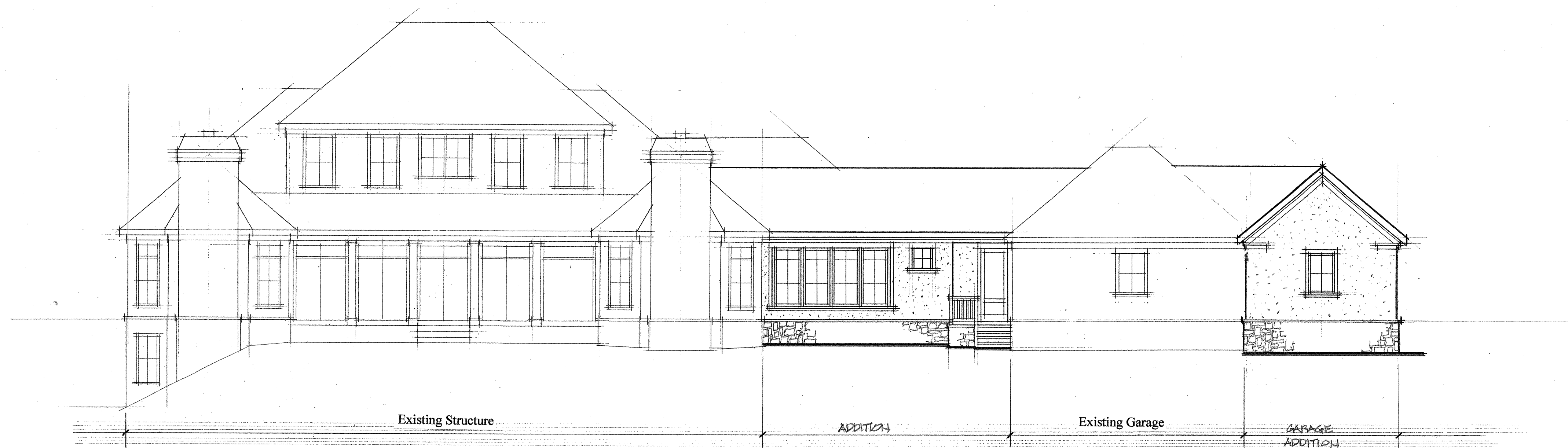
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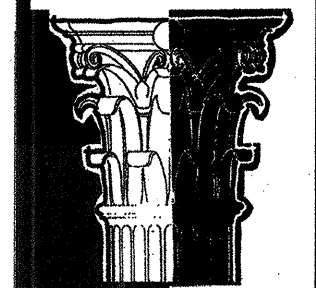
Roofing to match existing asphalt shingles  
 Fascia & Cornice Trim to match existing  
 Stucco to match existing  
 Stone base to match existing  
 New wood doors  
 Composite or clad windows  
 Composite railing



Front Elevation



Rear Elevation



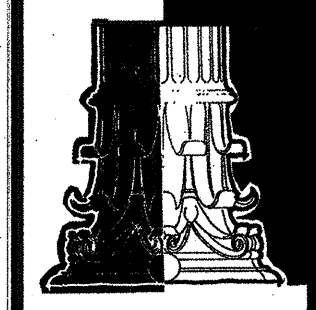
**ROYCE CHARLES JARRENT**

Architect  
 Clifton, Virginia 20124

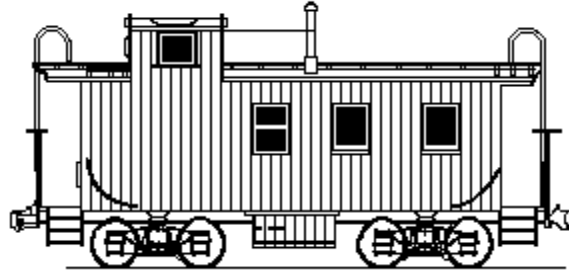
703-932-5762

12639 Chapel Road

12851 Redbird Ridge Rd.



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**TOWN OF CLIFTON  
ARCHITECTURAL REVIEW BOARD  
REGULAR MEETING  
THURSDAY, APRIL 29, 2021 7:30 PM  
ELECTRONIC MEETING, VIA ZOOM**

Until further notice from the Mayor of Clifton, and in accordance with the Resolution of the Architectural Review Board Commission regarding Remote Participation by Electronic Means Policy and the Town Council Continuity of Government Methods, to the Architectural Review Board and Authorizing Remote Participation by Electronic Means Without a Physical Quorum Being Present Pursuant to Virginia Law, the Town of Clifton Architectural Review Board is holding all Meetings noticed herein electronically for the purpose of continuity of government of the Town of Clifton.

The meetings will be conducted using Zoom teleconferencing audio and video service, and connection information will be provided to members of the public to afford the opportunity to citizens to witness the operation of the Town of Clifton government. Connection information is available from, and will be provided by, the Town Clerk or Chair of the Architectural Review Board upon receiving an emailed request directed to [clerk@cliftonva.gov](mailto:clerk@cliftonva.gov) or [royce.jarr@yahoo.com](mailto:royce.jarr@yahoo.com).

Order of Business:

1. Jim Witt/12728 Clifton Heights Lane: Seeking ARB Guidance on a Metal Porch Roof.
2. Market Financial/12644 Chapel Road, Ste. 111: Outdoor Office Sign.
3. Virginia Mercantile/12644 Chapel Road, Ste. F: Outdoor Sign.
4. Clifton Café/7144 Main Street: Outdoor Sign.
5. Reed Hall/12725 Clifton Heights Lane: Safety Deck.
6. The Hair Garage/12644 Chapel Road: Outdoor Sign.
7. Dianne Charneco/12851 Redbird Ridge Road: Addition & Modification to Ext. Structure.
8. Approve Draft February 2021 Meeting Minutes.
9. Adjournment.